



CITY OF NORTON

4060 Columbia Woods Drive
Norton, Ohio 44203

Offices: 330-825-7815 Fax: 330-825-3104
Website: www.cityofnorton.org

Mayor Mike Zita

Board of Zoning Appeals

Council Chambers
Wednesday, January 21, 2026
6:00 p.m.

Agenda

- I. Roll Call
- II. New Business
 - 1. Application A-2
Joe Hlas
2285 Frashure Drive, PPN 46-01948
1266.04 Area Requirements, (4) Rear Yard
- III. Old Business
- IV. Minutes
 - December 16, 2025
 - January 5, 2026
- V. Adjournment

NOTE: During the meeting, a live video-stream can be accessed from
www.cityofnorton.org. Clicking on the Broadcast Norton icon
will connect you to the City of Norton YouTube link.

Record No: A-2

*Board of Zoning & Appeals

Status: Active

Submitted On: 12/16/2025

Primary Location

2285 FRASHURE
Norton, OH 44321

Owner

HLAS JOSEPH CO TRUSTEE
FRASHURE DR 2285 AKRON,
OH 44321

Applicant

 Joe Hlas
 330-212-2044
 jhlasx12@gmail.com
 2285 Frashure Drive
Copley, Ohio 44321

Applicant

I am the...*

—

Zoning Information

Acreage*	Parcel Number*
0.4997	4601948
Current Zoning of Property	Estimated Cost of Project*
Residential	100000
Current Property Use*	Project Description*
Residential	Addition to Existing Home
Is there plumbing work to be done?*	Is there Electrical work to be done?*
Yes	Yes
Is there HVAC work to be done?*	Please Describe the Project in Greater Detail.*
Yes	Addition to the rear of the existing home.

Proposed Structure Size

Width (ft)*	Depth (ft)*
26	12
Height (ft)*	Are there any additional detached structurers on the property?*
8	No
Is a Developer Involved with this Project?*	Is a Surveyor Involved with this Project?*
No	No
Will a Contractor be Completing this Project?*	
No, I plan to do the work.	

Application Type

Application Type*
Variance

Variance Details

Code section/reference (if known) ?	Applicant Type*
1266.04 AREA REQUIREMENTS, (4) Rear yard. Fifty feet.)	Property Owner
Project Description*	
Set Back	

Link to Codes

Please Fully Describe Your Justification for the Variance*

To the Members of the Zoning Board,


I am requesting a variance to allow the construction of a family room at the rear of my property located at 2285 Frashure Drive (4601948). The addition would extend into the required rear setback (1266.04 Area Requirements, (4) Rear yard. Fifty feet) exceeding the area requirement by 10 feet. Due to the unique configuration of my lot and the placement of existing structures, strict compliance with the ordinance would make it impractical to add this room without significantly reducing its usability.

The proposed family room is intended to provide year-round living space for my family, enhancing the functionality of our home while remaining consistent with the character of the neighborhood.

Granting this variance will not negatively impact adjacent properties, obstruct views, or interfere with public utilities. The addition is located at the rear of the property, minimizing visibility from the street and ensuring that the essential character of the neighborhood is preserved. The variance requested is the minimum necessary to achieve reasonable use of my property.

For these reasons, I respectfully request approval of this variance so that I may construct the family room and make full, practical use of my home.

 Applicant Signature*




 Joseph Hlas
Dec 16, 2025

Signature

I herby certify that all statements contained in my supporting data transmitted herewith are true and accurate to the best of my knowledge. I understand that in order for this applicate to be complete, all application details, fees and supporting documents must be submitted.*

No signature

Attachments

	Copy of Deed or Legal Description of Property 2285_Frashure_Drive-Legal_Description_of_Property.pdf Uploaded by Joe Hlas on Dec 16, 2025 at 4:05 PM	REQUIRED
	Copy of Drawing Depicting Variance Norton_Zoning_Application-251215.pdf Uploaded by Joe Hlas on Dec 16, 2025 at 3:58 PM	REQUIRED
	Hlas-2285_Frashure_Drive-Permit_Drawings-2025-01-25.pdf Hlas-2285_Frashure_Drive-Permit_Drawings-2025-01-25.pdf Uploaded by Joe Hlas on Dec 16, 2025 at 3:59 PM	

Record Activity

Joe Hlas started a draft Record	12/16/2025 at 2:54 pm
Joe Hlas added file Norton_Zoning_Application-251215.pdf	12/16/2025 at 3:58 pm
Joe Hlas added file Hlas-2285_Frashure_Drive-Permit_Drawings-2025-01-25.pdf	12/16/2025 at 3:59 pm
Joe Hlas added file 2285_Frashure_Drive-Legal_Description_of_Property.pdf	12/16/2025 at 4:05 pm

Joe Hlas submitted Record A-2	12/16/2025 at 4:06 pm
OpenGov system altered approval step Administrative Review, changed status from Inactive to Active on Record A-2	12/16/2025 at 4:06 pm
OpenGov system assigned approval step Administrative Review to Lisa Snyder on Record A-2	12/16/2025 at 4:06 pm
Samantha Owen reassigned approval step Administrative Review from Lisa Snyder to Samantha Owen on Record A-2	12/16/2025 at 4:33 pm
Samantha Owen approved approval step Administrative Review on Record A-2	12/16/2025 at 4:39 pm
OpenGov system altered payment step Board of Zoning & Appeals Fees , changed status from Inactive to Active on Record A-2	12/16/2025 at 4:39 pm
OpenGov system completed payment step Board of Zoning & Appeals Fees on Record A-2	12/17/2025 at 2:40 pm
OpenGov system altered approval step Zoning Review, changed status from Inactive to Active on Record A-2	12/17/2025 at 2:40 pm
OpenGov system altered approval step BZA Hearing Preparation, changed status from Inactive to Active on Record A-2	12/17/2025 at 2:40 pm
OpenGov system assigned approval step BZA Hearing Preparation to Lisa Snyder on Record A-2	12/17/2025 at 2:40 pm
OpenGov system assigned approval step Zoning Review to Bill Braman on Record A-2	12/17/2025 at 2:40 pm
Samantha Owen reassigned approval step BZA Hearing Preparation from Lisa Snyder to Samantha Owen on Record A-2	12/17/2025 at 2:40 pm
Samantha Owen changed form field entry Meeting Date from "" to "01/20/2026" on Record A-2	12/17/2025 at 2:44 pm
Samantha Owen changed form field entry Meeting Time from "" to "6:00PM" on Record A-2	12/17/2025 at 2:44 pm
Bill Braman approved approval step Zoning Review on Record A-2	12/19/2025 at 8:00 am
Samantha Owen added Height (ft) to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Acreage to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Project Description to Record A-2	01/08/2026 at 4:01 pm

Samantha Owen added Are there any additional detached structurers on the property? to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Estimated Cost of Project to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Is a Surveyor Involved with this Project? to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Is a Developer Involved with this Project? to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Is there Electrical work to be done? to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Please Describe the Project in Greater Detail. to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Will a Contractor be Completing this Project? to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Current Zoning of Property to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Width (ft) to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Is there HVAC work to be done? to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Current Property Use to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Depth (ft) to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Parcel Number to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen added Is there plumbing work to be done? to Record A-2	01/08/2026 at 4:01 pm
Samantha Owen changed form field entry Meeting Date from "01/20/2026" to "01/21/2026" on Record A-2	01/08/2026 at 4:01 pm

Timeline

Label	Activated	Completed	Assignee	Due Date	Status
✔ Administrative Review	12/16/2025, 4:06:12 PM	12/16/2025, 4:39:15 PM	Samantha Owen	-	Completed

Label	Activated	Completed	Assignee	Due Date	Status
💰 Board of Zoning & Appeals Fees	12/16/2025, 4:39:16 PM	12/17/2025, 2:40:02 PM	Joe Hlas	-	Completed
✓ Zoning Review	12/17/2025, 2:40:03 PM	12/19/2025, 8:00:32 AM	Bill Braman	-	Completed
✓ BZA Hearing Preparation	12/17/2025, 2:40:03 PM	-	Samantha Owen	-	Active
✓ Board of Zoning & Appeals Hearing Results	-	-	-	-	Inactive
📄 Zoning Permit	-	-	-	-	Inactive

1266.04 AREA REQUIREMENTS.

Area requirements in an R-3 District are as follows:

- (a) Minimum Lot Area. 10,500 square feet.
- (b) Minimum Lot Width. Seventy-five feet.
- (c) Minimum Lot Depth. 140 feet.
- (d) Minimum Lot Coverage. 800 square feet of first floor living area.
- (e) Minimum Yards.
 - (1) Front yard. Fifty feet.
 - (2) Side yards. Fifteen feet total. No side yard shall be less than five feet.
 - (3) Side yard of corner lot. A side yard along the side street lot line of a corner lot, which lot abuts in the rear, either directly or across an alley, the side lot line of another lot in an "R" District, shall have a width of not less than one-half the required depth of the front yard on such other lot fronting on the side street, with twenty-five foot minimum.
 - (4) Rear yard. Fifty feet.

(Ord. 1-1988. Passed 4-11-88.)

Record No: 103

*Zoning Permit

Status: Active

Submitted On: 12/12/2025

Primary Location

2285 FRASHURE
Norton, OH 44321

Owner

HLAS JOSEPH CO TRUSTEE
2285 FRASHURE DR AKRON,
OH 44321

Applicant

 Joe Hlas
 330-212-2044
 jhlasx12@gmail.com
 2285 Frashure Drive
Copley, Ohio 44321

Applicant

I am the...*

—

Is a Developer Involved with this Project?*

—

Is a Surveyor Involved with this Project?

—

Contractor Information - Contractors must be registered for the current year.

Contractor Name*

Joseph Hlas

Contractor Address*

2285 Frashure Drive

City*

Akron

State*

OH

Zip*

44321

Phone #*

330-212-2044

Zoning Application

Property Acreage*	Parcel Number*
0.4997	4601948
Project Cost Estimate\$*	Project Description:*
100000	Miscellaneous
Please Describe Project in Greater Detail*	Width (ft)*
Adding addition to back of home.	40
Height (ft)*	Depth (ft)*
8	12
Total Square Footage of Structure	Use:*
<div><div>480</div><div><div></div><div></div><div></div><div></div></div></div>	Residential
Zoning Classification:	Storm water#:
Residential	
Are there any additional detached structures on the property?*	Is Electrical work to be done? *
No	Yes
🔧 Is HVAC work to be done? *	Is Plumbing work to be done? *
Yes	Yes

I have completed this application to the best of my ability.



Planning Review

Record No.103

Status Rejected

Became Active December 12, 2025

Type Approval

Due Date None

Assignee Bill Braman

Record No: 103

*Zoning Permit

Status: Stopped

Submitted On: 12/12/2025

Primary Location

2285 FRASHURE
Norton, OH 44321

Owner

HLAS JOSEPH CO TRUSTEE
2285 FRASHURE DR AKRON, OH
44321

Applicant

 Joe Hlas
 330-212-2044
 jhlasx12@gmail.com
 2285 Frashure Drive
Copley, Ohio 44321

Messages

Bill BramanDecember 12, 2025 at 12:14 pm

Can you provide the measurements from your addition to the rear property line the minimum requirement is 50 feet without variance

Joe HlasDecember 15, 2025 at 1:12 pm

Yes. I have uploaded the "Situation Plan".

Bill Braman InternalDecember 15, 2025 at 2:15 pm

This will need a variance due to the rear setback for R3 Zoning section 1266.04 (1). i advised them you would get them the correct form and take payment.

Samantha OwenDecember 15, 2025 at 4:22 pm

Hello Joe, This record is going to be rejected due to you needing a variance. Below is a link for the Board of Zoning Appeals Application. You can fill that out to start the process. Once the application is filled out it will come to me for review, and I will add the \$350 fee for you to pay. Once payment is received, we will move forward with getting your application added to the next BZA meeting. BZA meetings are held the third Tuesday of each month at 6pm. There does need to be a 12-day grace period due to us needing to mail notices to those contiguous to your property. Please don't hesitate to reach out if you have any questions. Always here to help anyway I can. Thank you, Samantha Owen 330-825-7815 x311
Boards and Commissions – City of Norton, OH

Joe HlasDecember 16, 2025 at 4:07 pm

Just completed the Board of Zoning Appeals Application. Let me know if you need anything else.

Step Activity

- OpenGov system activated this step12/12/2025 at 11:46 am
- OpenGov system assigned this step to Bill Braman12/12/2025 at 11:46 am

THE CITY OF NORTON ZONING DEPARTMENT ZONING APPLICATION

USE: ☒ RESIDENTIAL ☐ COMMERCIAL

DESCRIPTION OF USE: Adding addition to back of home.

Structure Size	Width	26 FT.	Depth	12 FT.	Height	8 FT.
	14 FT.		12 FT.		8 FT.	

Include property setback measurement (all four sides)

SITUATION PLAN

Locate Structure with measurements from Property Lines:

REAR YARD

(Include property setback measurement)

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SEE ATTACHED PAGES

STREET

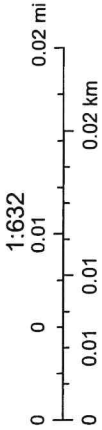
(Include property setback measurement)
(Measure from Center of Road to front of Structure)



12/14/2025, 8:03:20 PM

Parcels

Jurisdictions 2025



Parcel Viewer by County of Summit
Disclaimer: Users of this map accept all risk, not intended to serve as professional advice.





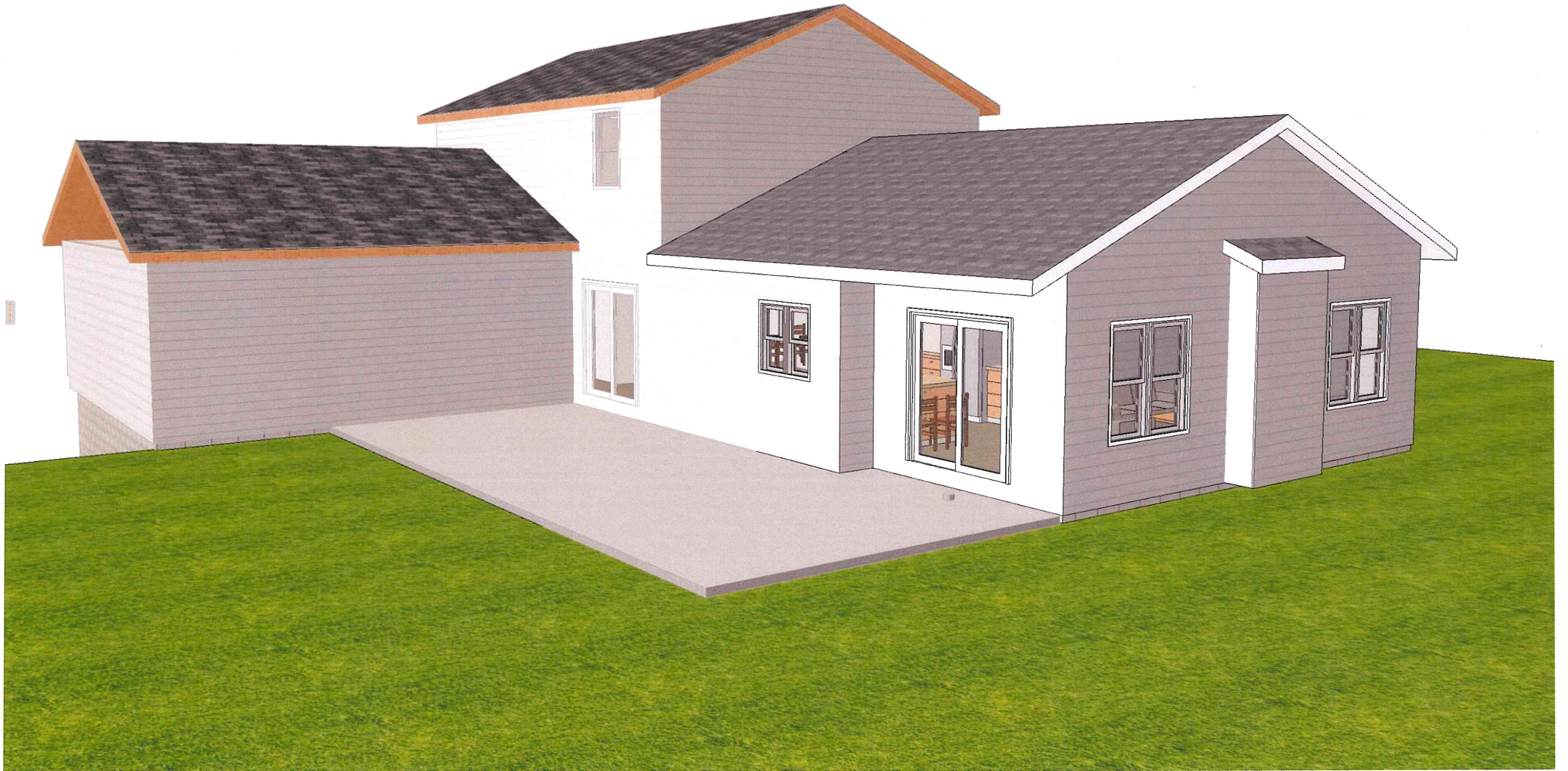


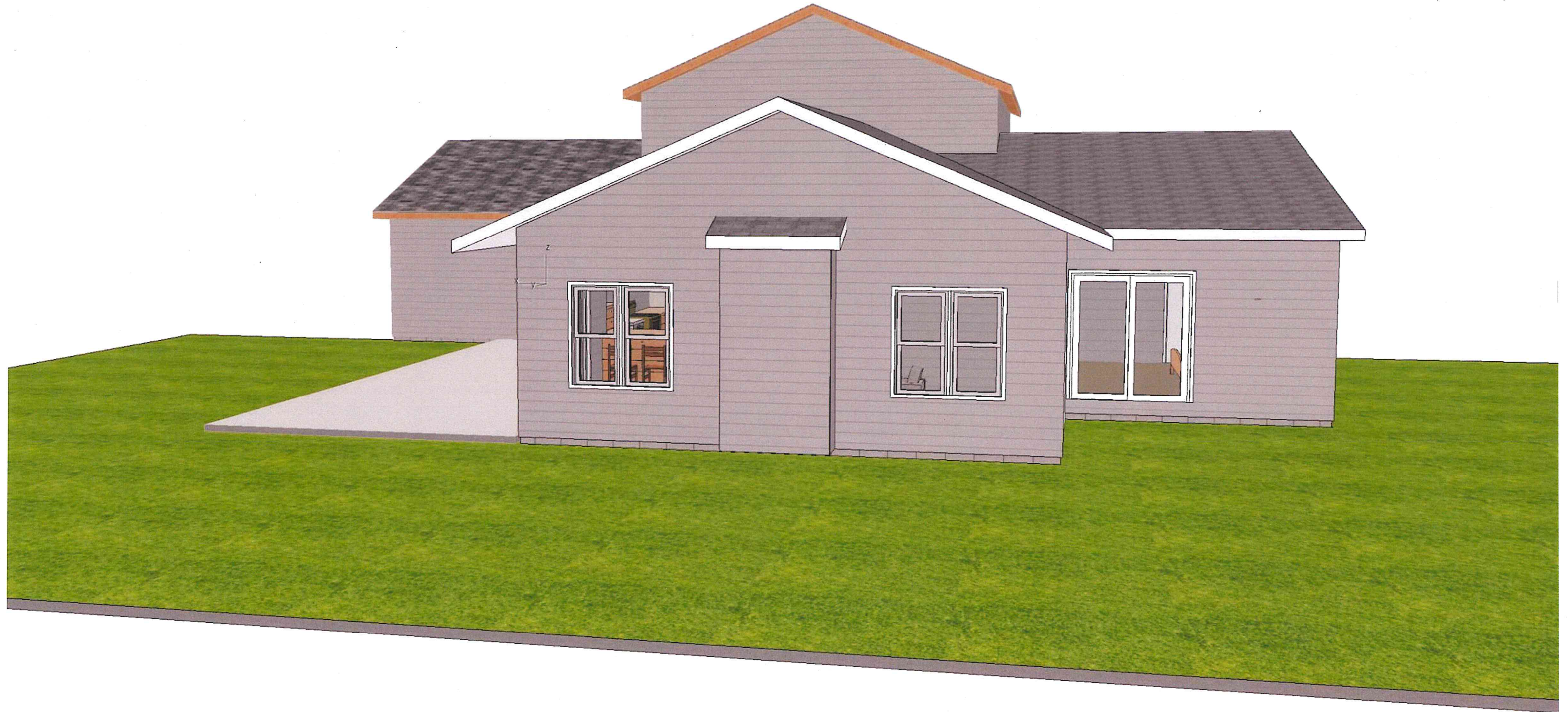
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NOTE: SEE FOUNDATION PLAN FOR FOOTINGS IDENTIFIED ABOVE

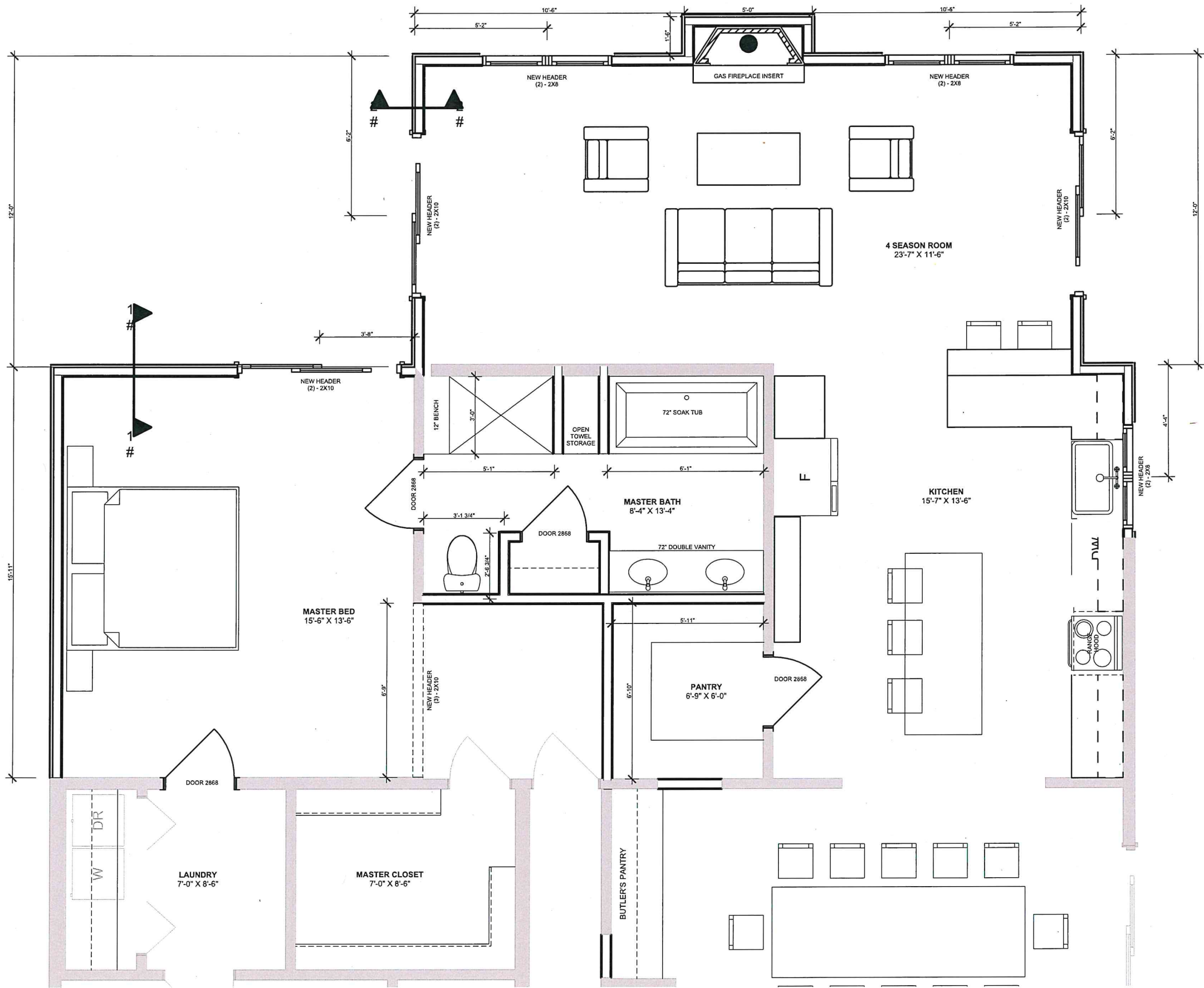
NOTE: SEE FOUNDATION PLAN FOR FOOTINGS IDENTIFIED ABOVE











FLOOR PLAN NOTES

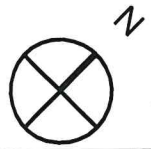
1. ALL INTERIOR CONCRETE MASONRY UNIT OUTSIDE CORNERS, HORIZONTAL OR VERTICAL, SHALL BE BULLNOSE (U.N.O. OR DETAILED OTHERWISE).
2. COORDINATE DIMENSIONS WITH STRUCTURAL DRAWINGS - TYPICAL.
3. ALL CONTRACTORS TO COORDINATE WITH STRUCTURAL, ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS.
4. ALL MASONRY DIMENSIONS ARE NOMINAL.
5. ALL STUD WALL PARTITIONS ARE DIMENSIONED TO ROUGH FRAMING (METAL STUDS AND/OR WOOD STUDS).
6. REFER TO PLAN AND DETAILS FOR EXACT LOCATIONS OF INTERIOR PARTITIONS RELATIVE TO COLUMNS AND/OR EXISTING WALLS.
7. ALL DIMENSIONS THAT ARE UNCLEAR OR UN-INDICATED SHALL BE VERIFIED WITH THE ARCHITECT. EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CLEARANCES BEFORE PROCEEDING WITH THEIR WORK. COMMENCEMENT OF THE WORK CONSTITUTES ACCEPTANCE OF THE EXISTING AND/OR NEW CONDITIONS.
8. NON-COMBUSTABLE BLOCKING SHALL BE REQUIRED IN STUD WALLS FOR EQUIPMENT, CASEWORK, TOILET ACCESSORIES, HANDRAILS, ETC. NON-COMBUSTABLE BLOCKING TO BE FURNISHED AND INSTALLED BY THE TRADE REQUIRING THE BLOCKING. ALL EQUIPMENT SUPPLIED BY OWNER, BLOCKING SHALL BE FURNISHED AND INSTALLED BY FRAMING CONTRACTOR.
9. FILL IN ALL MASONRY VOIDS WITH MORTAR OR CONCRETE WHERE MASONRY ANCHORS OCCUR.
10. REFER TO DIVISION 8 SERIES DRAWINGS FOR DOOR / WINDOW INSTALLATION DETAILS.
11. ALL WORK SHALL CONFORM TO THE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
12. ALL CONCRETE MASONRY UNITS THAT DO NOT LAY-OUT IN FULL OR HALF BLOCK LENGTHS SHALL BE BALANCED SUCH THAT MASONRY PIECES SHALL HAVE NO LESS THAN 4" EXPOSED TO VIEW.
13. IT IS SOLELY THE CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
14. EACH PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION OF THEIR PROSPECTIVE WORK.

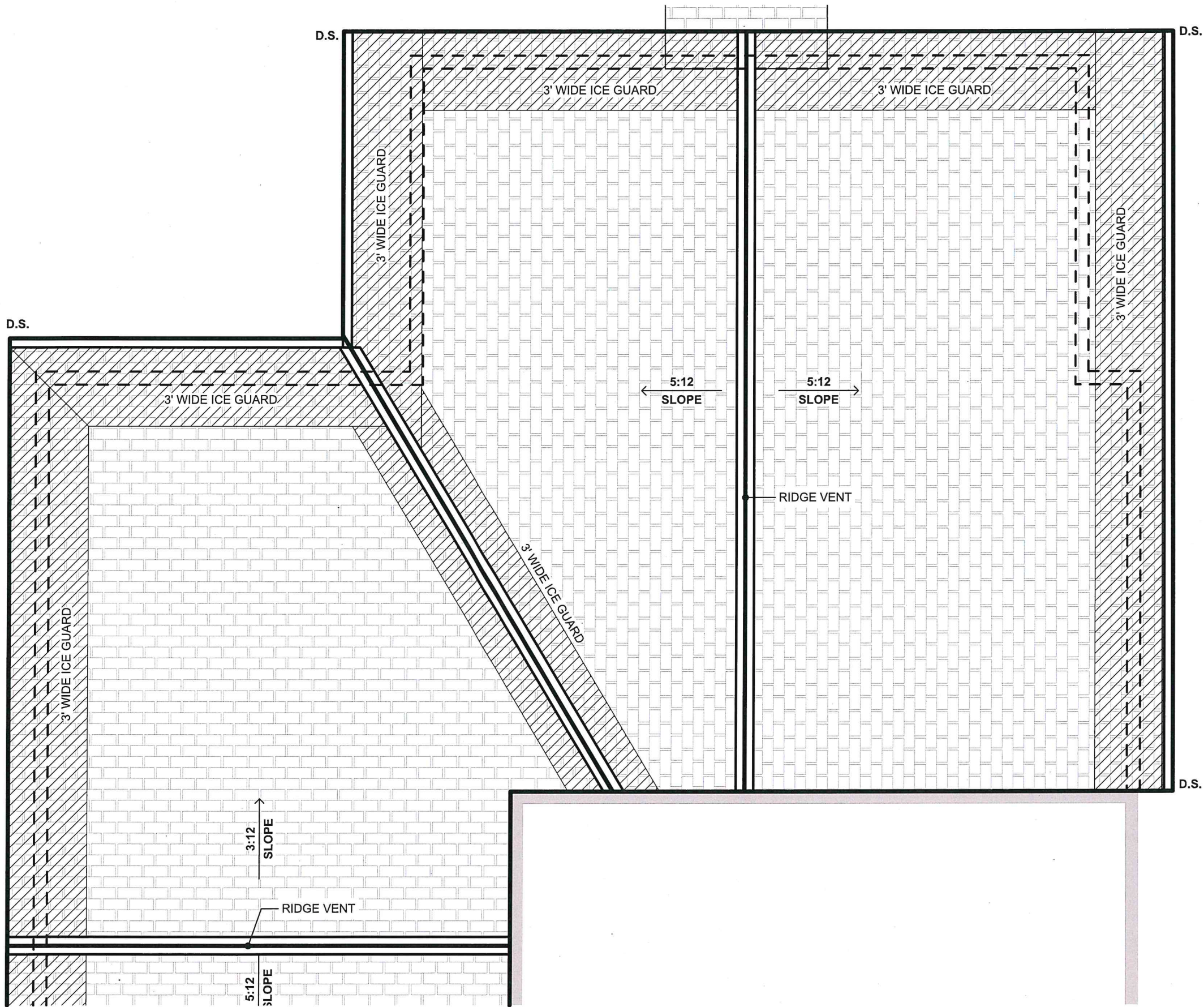
HLAS RESIDENCE RENOVATION AND ADDITION 2285 FRASHURE DR.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1/25/2025





ROOF PLAN NOTES

- ← X:12
SLOPE INDICATES DIRECTION OF ROOF SLOPE (SEE ALSO STRUCTURAL DWGS)
- D.S. DOWNSPOUT LOCATION
- INDICATES EXTENT OF EXTERIOR BUILDING BELOW ROOF

NOTES:

1. THE ROOFING CONTRACTOR IS RESPONSIBLE FOR FLASHING AND WATERPROOFING ALL PENETRATIONS THRU THE ROOF.
2. THE ROOFING CONTRACTOR IS RESPONSIBLE FOR ALL FLASHINGS, SEALS, REGLETS, ETC. FOR A COMPLETE SYSTEM REQUIRED WARRANTY.
3. ALL PENETRATIONS AND REQUIRED FRAMING MEMBERS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR REQUIRING PENETRATION. FLASHING OF PENETRATIONS SHALL BE BY THE ROOFING CONTRACTOR.

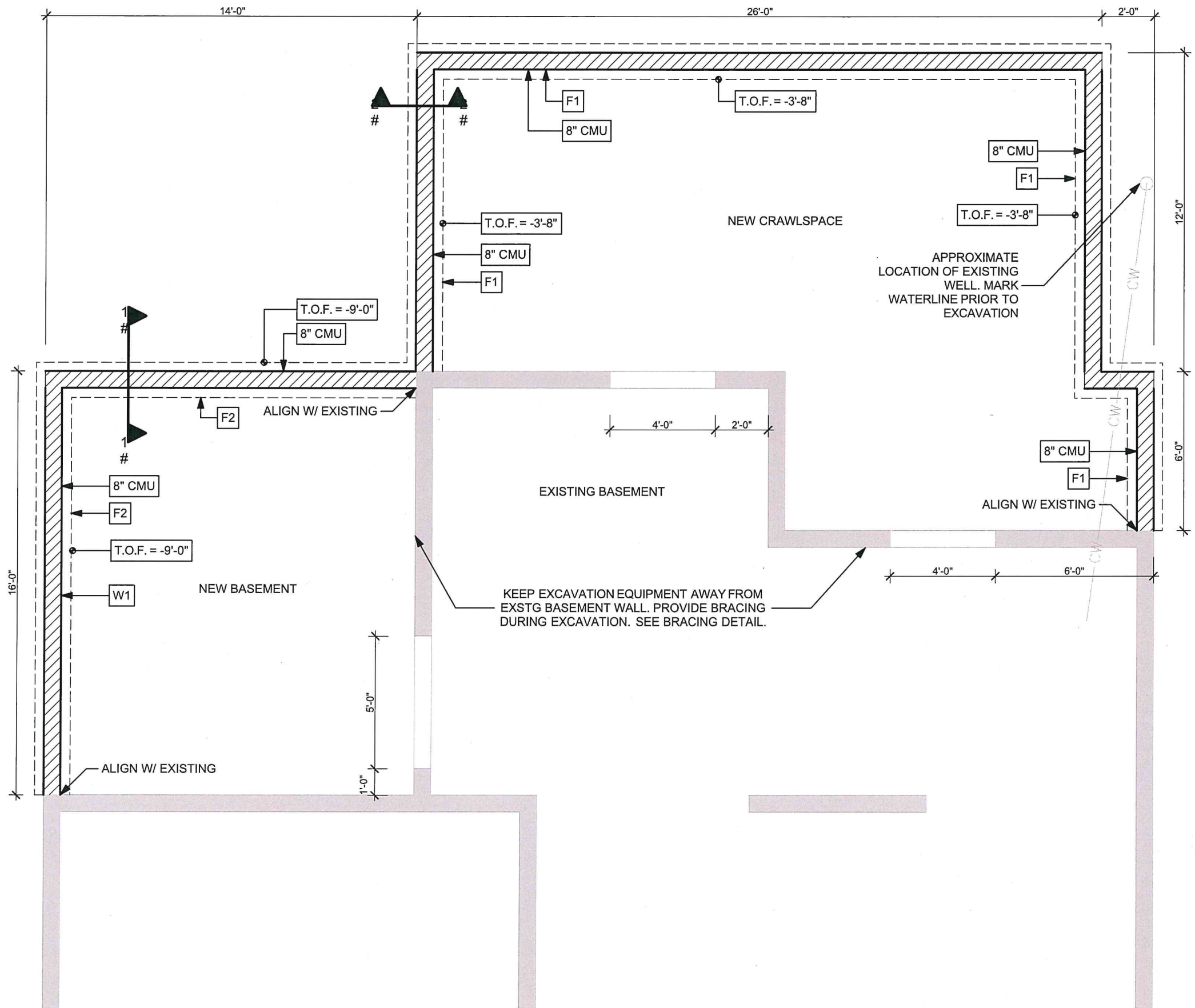
ROOF PLAN

SCALE: 1/4" = 1'-0"

HLAS RESIDENCE RENOVATION AND ADDITION
2285 FRASHURE DR

1/25/2025





FOUNDATION PLAN NOTES

- 1. ALL NEW BUILDING FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED VIRGIN SOIL OR ENGINEERED FILL WITH AN ALLOWABLE SOIL BEARING PRESSURE EQUAL TO OR GREATER THAN 2,000 PSF. ALL ENGINEERED FILL SHALL BE PLACED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE SOILS ENGINEER SHALL SUBMIT A SEALED COPY OF ALL FOUNDATION SOIL BEARING TESTS TO THE OWNER AND ARCHITECT. SOIL BEARING TESTS SHALL ALSO BE FORWARDED TO THE LOCAL BUILDING DEPARTMENT OFFICIAL BY THE CONTRACTOR OR TESTING AGENCY ASSIGNED TO THIS PROJECT.
- 2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 3'-0" BELOW FINISHED GRADE. SEE FOUNDATION PLAN FOR ELEVATION IDENTIFICATION TAGS FOR TOP OF FOOTINGS (T.O.F.).
- 3. FOOTINGS SHALL BE STEPPED AT A MAXIMUM OF 2 HORIZONTAL TO 1 VERTICAL WITH A VERTICAL MAXIMUM STEP OF 2'-0".
- 4. FILL BEHIND AND BELOW THE FOUNDATION WALLS AND BELOW SLABS SHALL BE ENGINEERED FILL. USE WELL GRADED GRANULAR FILL.
- 5. FOOTINGS, PEDESTALS, & WALLS
 - A. DOWEL IN FOOTINGS TO MATCH VERTICAL PIER COLUMN OR WALL REINFORCING UNLESS NOTED OTHERWISE.
 - B. PROVIDE CORNER BARS AT WALL, GRADE BEAM AND FOOTING CORNERS TO MATCH HORIZONTAL AND LONGITUDINAL REINFORCING MINIMUM LENGTH OF EACH LEG TO BE 45 X BAR DIAMETER (UNLESS NOTED OTHERWISE).
 - C. ALL SPLICES IN REINFORCING STEEL SHALL BE GOVERNED BY CHAPTER 25 ACI-318.
- 6. FILL MASONRY CORE SOLID AROUND ALL ANCHOR BOLTS, EMBEDDED STEEL AND REINFORCING.
- 7. ALL MASONRY FOUNDATION WALL THICKNESSES ARE NOTED ON THE FOUNDATION PLAN.
- 8. PROTECT ADJACENT CONSTRUCTION MATERIALS TO REMAIN DURING FOUNDATION WORK - TYPICAL.
- 9. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
 - A. ALL CAST-IN-PLACE WALL FOOTINGS - 3 INCHES
 - B. ALL CAST-IN-PLACE WALLS - 2 INCHES
 - C. ALL CAST-IN-PLACE PIERS - 2 INCHES
- 10. SEE WALL REINFORCING SCHEDULE FOR WALL REINFORCING REQUIREMENTS.
- 11. TOP OF ALL INTERIOR CONCRETE COLUMN FOUNDATIONS SHALL BE 8" BELOW FINISH FLOOR (U.N.O.) ON FOUNDATION PLAN.
- 12. PRIOR TO BACKFILL, ALL WALLS MUST BE ADEQUATELY BRACED. FOR BACKFILL REQUIREMENTS, SEE SPECIFICATIONS AND/OR GEOTECHNICAL ENGINEER'S REPORT.

FOUNDATION SCHEDULE			
DESIGNATION	SIZE L x W	REINFORCING	THICKNESS
F-1	1'-4" WIDE (CONT.)	PLAIN CONCRETE	8"
F-2	1'-4" WIDE (CONT.)	(2) #4 BARS CONTINUOUS	8"

NOTE: SEE FOUNDATION PLAN FOR FOOTINGS IDENTIFIED ABOVE

WALL REINFORCING SCHEDULE			
DESIGNATION	REINFORCING BARS	SPACING	
W-1	(2) #4 BARS	24"	

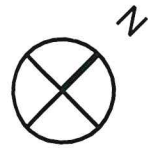
NOTE: SEE FOUNDATION PLAN FOR FOOTINGS IDENTIFIED ABOVE

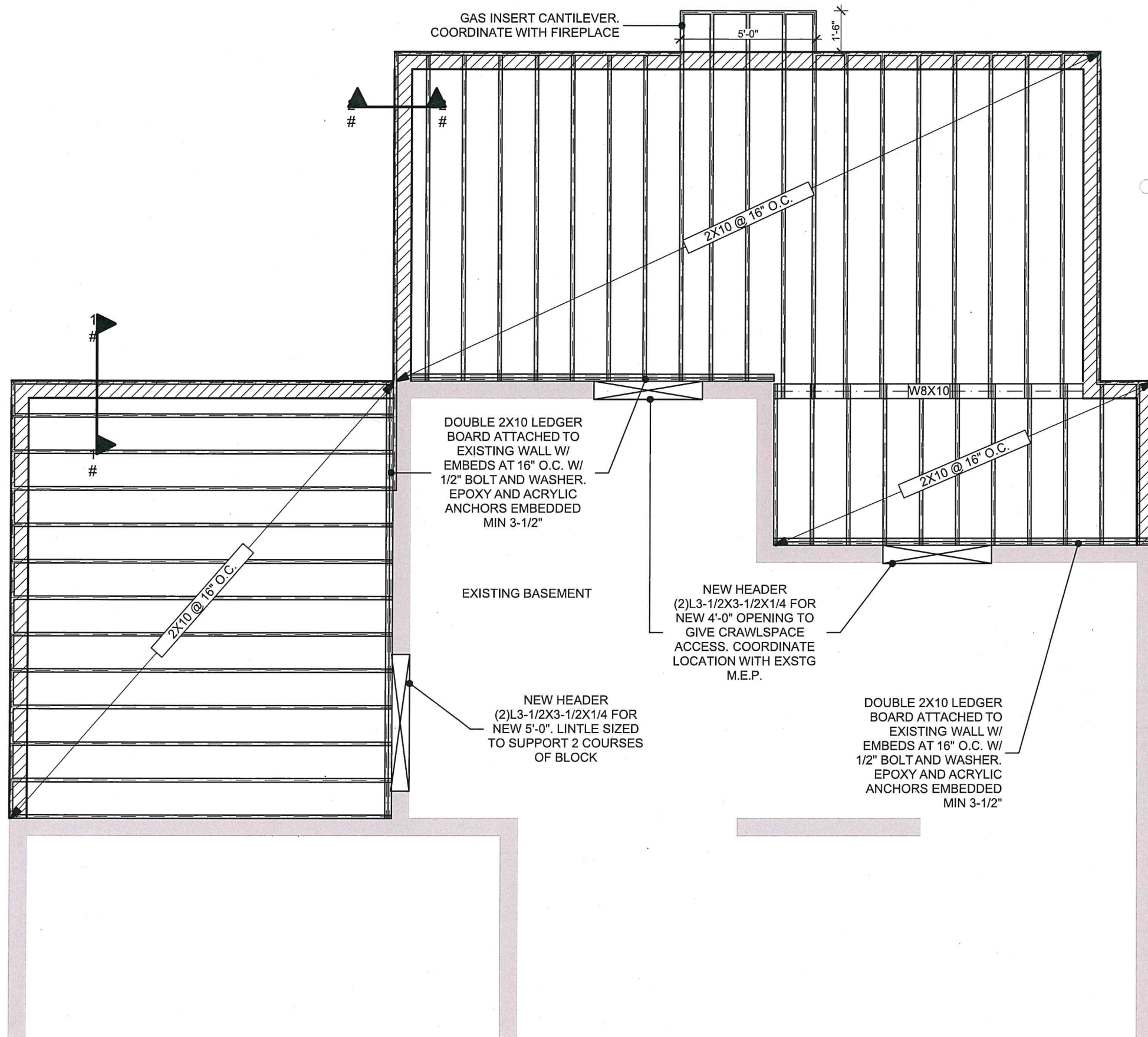
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

HLAS RESIDENCE RENOVATION AND ADDITION
2285 FRASHURE DR

1/25/2025





STRUCTURAL DESIGN CRITERIA

DESIGN LOAD DATA

REFERENCE: 2017 OHIO BUILDING CODE

SECTION 1603.1.1 FLOOR LIVE LOAD

RESIDENTIAL: 40 PSF

SECTION 1603.1.2 ROOF LIVE LOAD

MINIMUM ROOF LIVE LOAD = 20 PSF

SECTION 1603.1.3 ROOF SNOW LOAD

GROUND SNOW LOAD: $P_g = 20$ PSF
 FLAT ROOF SNOW LOAD: $P_f = 14$ PSF
 SNOW EXPOSURE FACTOR: $C_e = 1.0$
 SNOW LOAD IMPORTANCE FACTOR: $I = 1.0$
 THERMAL FACTOR: $C_t = 1.0$
 DRIFT SURCHARGE LOAD: NOT APPLICABLE
 WIDTH OF SNOW DRIFT: NOT APPLICABLE

SECTION 1603.1.4 WIND DESIGN DATA

ULTIMATE DESIGN WIND SPEED: 115 MPH
 RISK CATEGORY: II
 WIND EXPOSURE: B
 INTERNAL PRESSURE COEFFICIENT: ± 0.18
 DESIGN WIND PRESSURES (STRENGTH LEVEL):
 WALLS (NET): 19 PSF TYPICAL, 24 PSF END ZONE
 ROOF (UPLIFT): -16 PSF TYPICAL
 COMPONENTS AND CLADDING (STRENGTH LEVEL):
 WALLS: +22 PSF / -29 PSF
 ROOF: +21 PSF / -26 PSF

SECTION 1603.1.5 EARTHQUAKE DESIGN DATA

RISK CATEGORY: II
 SEISMIC IMPORTANCE FACTOR: 1.0
 MAPPED SPECTRAL RESPONSE PARAMETERS: $S_s = 0.14$, $S_1 = 0.056$
 SITE CLASS: D
 DESIGN SPECTRAL RESPONSE PARAMETERS: $S_{ds} = 0.15$, $S_{d1} = 0.090$
 SEISMIC DESIGN CATEGORY: B
 BASIC SEISMIC-FORCE-RESISTING SYSTEM:
 LIGHT-FRAMED SHEAR WALLS
 DESIGN BASE SHEAR (SERVICE LEVEL, ADDITION ONLY): 1,000 LB
 SEISMIC RESPONSE COEFFICIENT: $C_s = 0.075$
 RESPONSE MODIFICATION FACTOR: $R = 2$
 ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

FRAMING NOTES

- COORDINATE WORK WITH OTHER TRADES.
- ALL WORK SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL CODES AND REQUIREMENTS
- IT IS SOLELY THE CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION
- USE THE STRUCTURAL DRAWINGS IN CONNECTION WITH THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
- ALL STEEL FRAMING WORK IS TO BE COMPLETED IN ACCORDANCE WITH INDUSTRY STANDARDS AND IN A QUALITY CRAFTSMEN-LIKE MANNER.
- ALL STRUCTURAL STEEL SHAPES, PLATES AND BARS (EXCLUDING W SHAPES) SHALL COMPLY WITH ASTM A36, USE GRADE 50 STEEL FOR W SHAPES, AS PER ASTM A992.
- ALL STRUCTURAL STEEL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILING PRACTICES OUTLINED IN THE LATEST EDITION OF THE AISC "MANUAL OF STEEL CONSTRUCTION".
- ALL CONNECTIONS SHALL BE ADQUATE TO SUPPORT THE MAXIMUM UNIFORM LOAD CAPACITY OF THE BEAM FOR THE SHAPE, SPAN AND SIZE SPECIFIED. USE ASTM A325 OR A490 BOLTS.
- STEEL JOISTS SHALL COMPLY WITH THE LATEST STEEL JOIST INSTITUTE (SJI) "SPECIFICATIONS".

FIRST FLOOR FRAMING PLAN

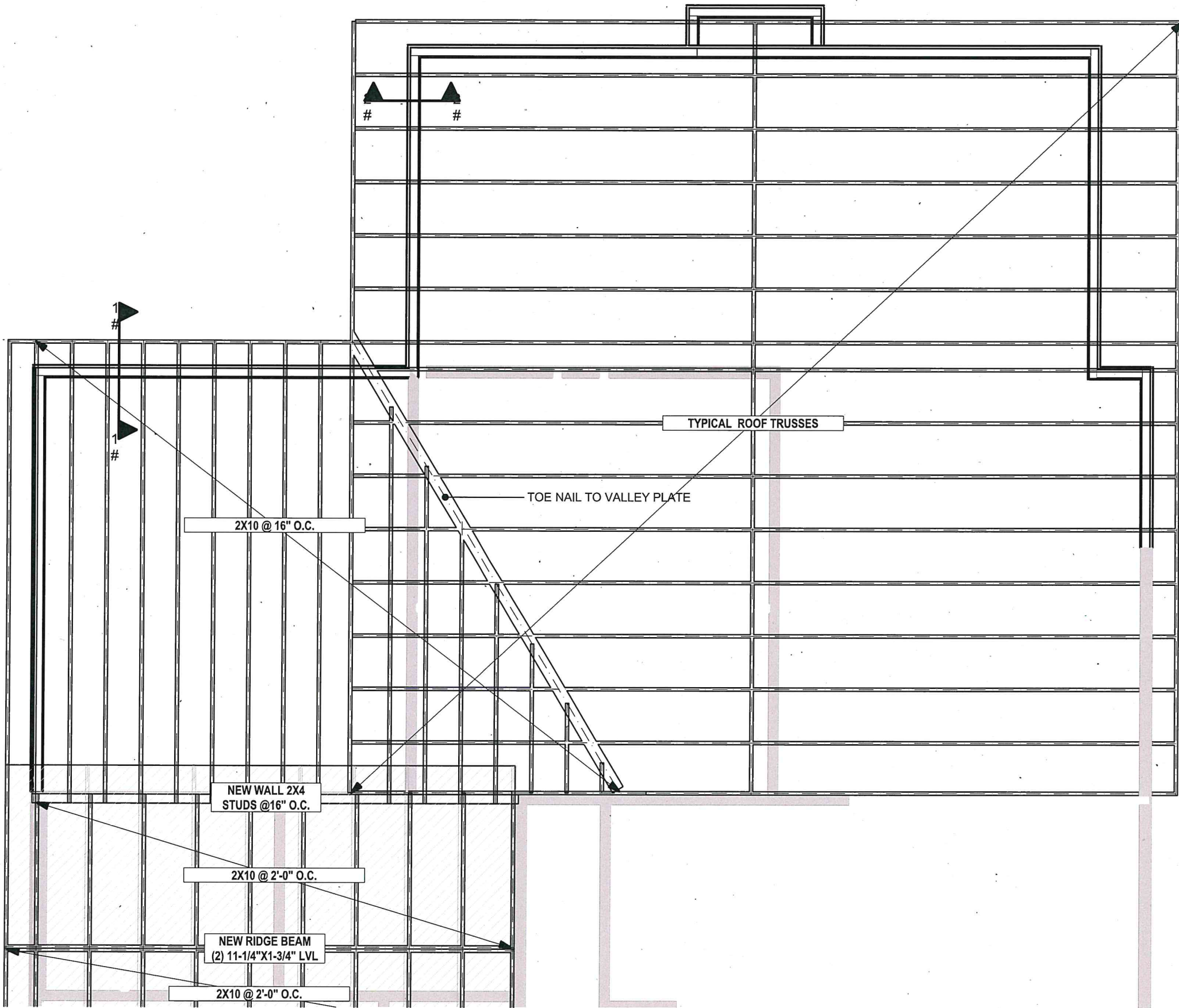
SCALE: 1/4" = 1'-0"

HLAS RESIDENCE RENOVATION AND ADDITION 2285 FRASHURE DR

1/25/2025

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WOOD TRUSS NOTES

- MANUFACTURED PER DESIGNS PREPARED BY REGISTERED ENGINEERS FOR SPANS INDICATED. TRUSSES SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE FOLLOWING TRUSS PLATE INSTITUTE (TPI) PUBLICATION "DESIGN SPECIFICATION FOR METAL PLATE-CONNECTED WOOD TRUSS", "DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED PARALLEL CHORD, 4 x 2 WOOD TRUSSES", AND ACCEPTED ENGINEERING PRACTICE. ERECTION SHALL BE IN ACCORDANCE WITH "QUALITY CONTROL MANUAL FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES". CONNECTOR PLATES, TO BE GRADE A, HOT DIPPED GALVANIZED STEEL PER ASTM SPECIFICATION A446 GRADE A, COATING G60.
 - FLOOR TRUSSES TO BE HYDRO-AIR, ENGINEERING, INC. TRUSWALL SYSTEMS CORP., OR APPROVED EQUAL PARALLEL CHORD TRUSS MANUFACTURER. DOUBLE CHORD MEMBERS SHALL BE USED AS REQUIRED.
 - SHOP DRAWINGS: SUBMIT SHOP DRAWINGS SHOWING SPECIES, SIZES AND STRESS GRADES OF LUMBER TO BE USED; PITCH, SPAN, CAMBER, CONFIGURATION AND SPACING FOR EACH TYPE OF TRUSS REQUIRED; TYPE, SIZE MATERIAL, FINISH DESIGN VALUE, AND LOCATION OR METAL CONNECTOR PLATES; AND BEARING AND ANCHORAGE DETAILS.

(TO THE EXTENT ENGINEERING DESIGN CONSIDERATIONS ARE INDICATED AS FABRICATOR'S RESPONSIBILITY, SUBMIT DESIGN ANALYSIS AND TEST REPORTS INDICATING LOADING, SECTION MODULUS, ASSUMED ALLOWABLE STRESS, STRESS DIAGRAMS AND CALCULATIONS, AND SIMILAR INFORMATION NEEDED FOR ANALYSIS AND TO ENSURE THAT TRUSSES COMPLY WITH REQUIREMENTS.

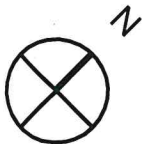
(PROVIDE SHOP DRAWINGS WHICH HAVE BEEN SIGNED AND STAMPED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE WHERE TRUSSES ARE FABRICATED.)
 - WOOD FRAMING SHALL BE DESIGNED AS PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE OHIO STATE BUILDING CODE. ALL FRAMING LUMBER SHALL BE CONSTRUCTION GRADE OR BETTER.
 - PROVIDE CONTINUOUS ROWS OF CROSS BRIDGING AT BOTTOM AND TOP CHORD OF RAFTERS AT 8'-0" O.C. MAX. PROVIDE TRUSS BRIDGING PER TRUSS MANUFACTURER DESIGN REQUIREMENTS.
- WOOD TRUSS DESIGN INFORMATION:**
- TOP CORD:
- 10 PSF (DEAD LOAD) **
 - 30 PSF (LIVE LOAD)
- BOTTOM CORD:
- 10 PSF (DEAD LOAD)
 - 10 PSF (LIVE LOAD)
- **ADD 10 PSF ADDITIONAL DEAD LOAD WHERE FALSEWORK OCCURS

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

HLAS RESIDENCE RENOVATION AND ADDITION
2285 FRASHURE DR

1/25/2025





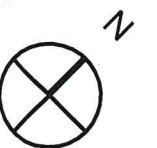
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2285 FRASHURE DR

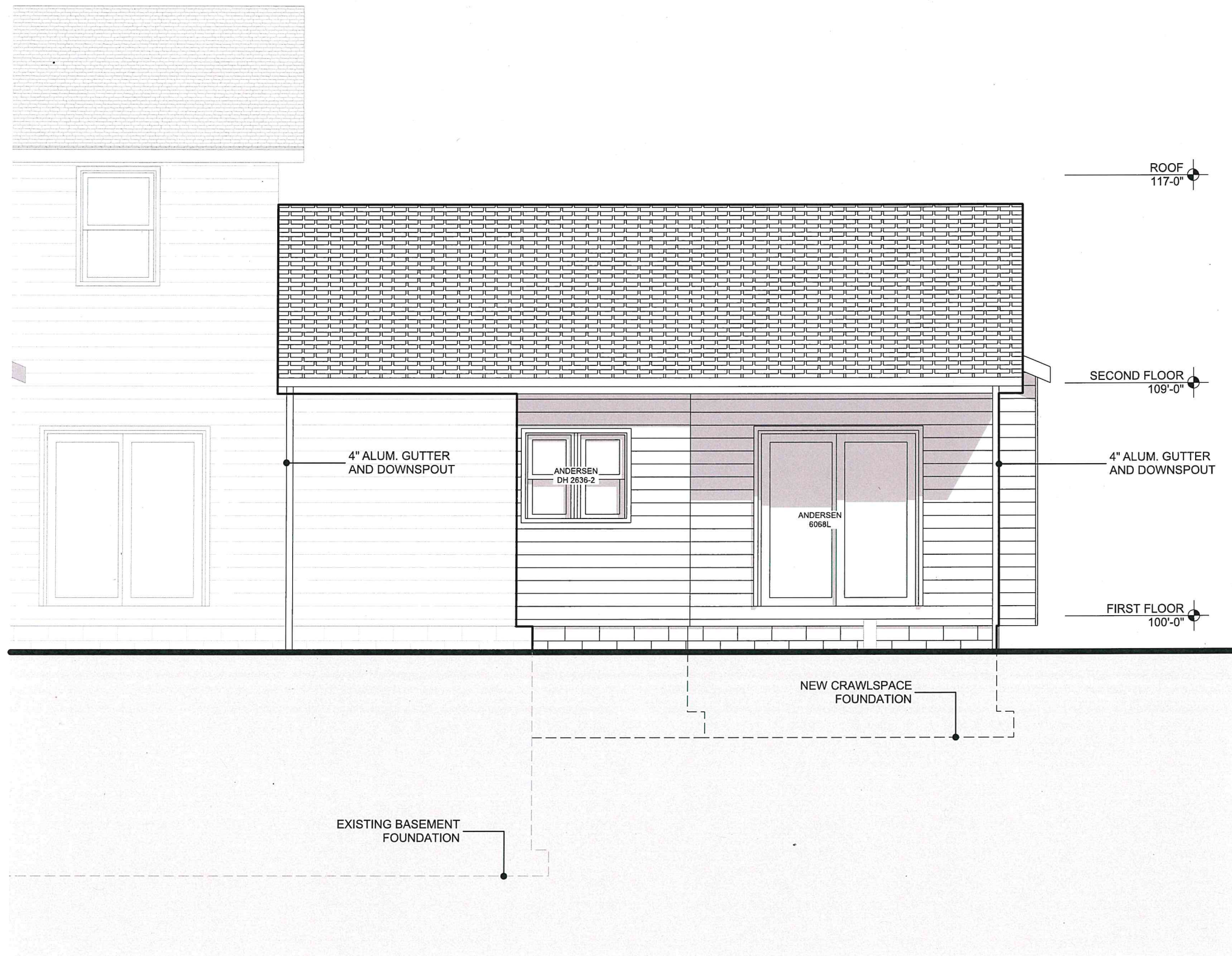
NORTH WEST ELEVATION

SCALE: 1/4" = 1'-0"

1/25/2025

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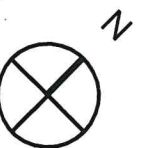
HLAS RESIDENCE RENOVATION AND ADDITION
2285 FRASHURE DR

NORTH EAST ELEVATION

SCALE: 1/4" = 1'-0"

1/25/2025

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ROOF
117'-0"

SECOND FLOOR
109'-0"

4" ALUM. GUTTER
AND DOWNSPOUT

FIRST FLOOR
100'-0"

ANDERSEN
6068L

NEW CRAWLSPACE
FOUNDATION

NEW BASEMENT FOUNDATION

EXISTING BASEMENT
FOUNDATION

SOUTH WEST ELEVATION

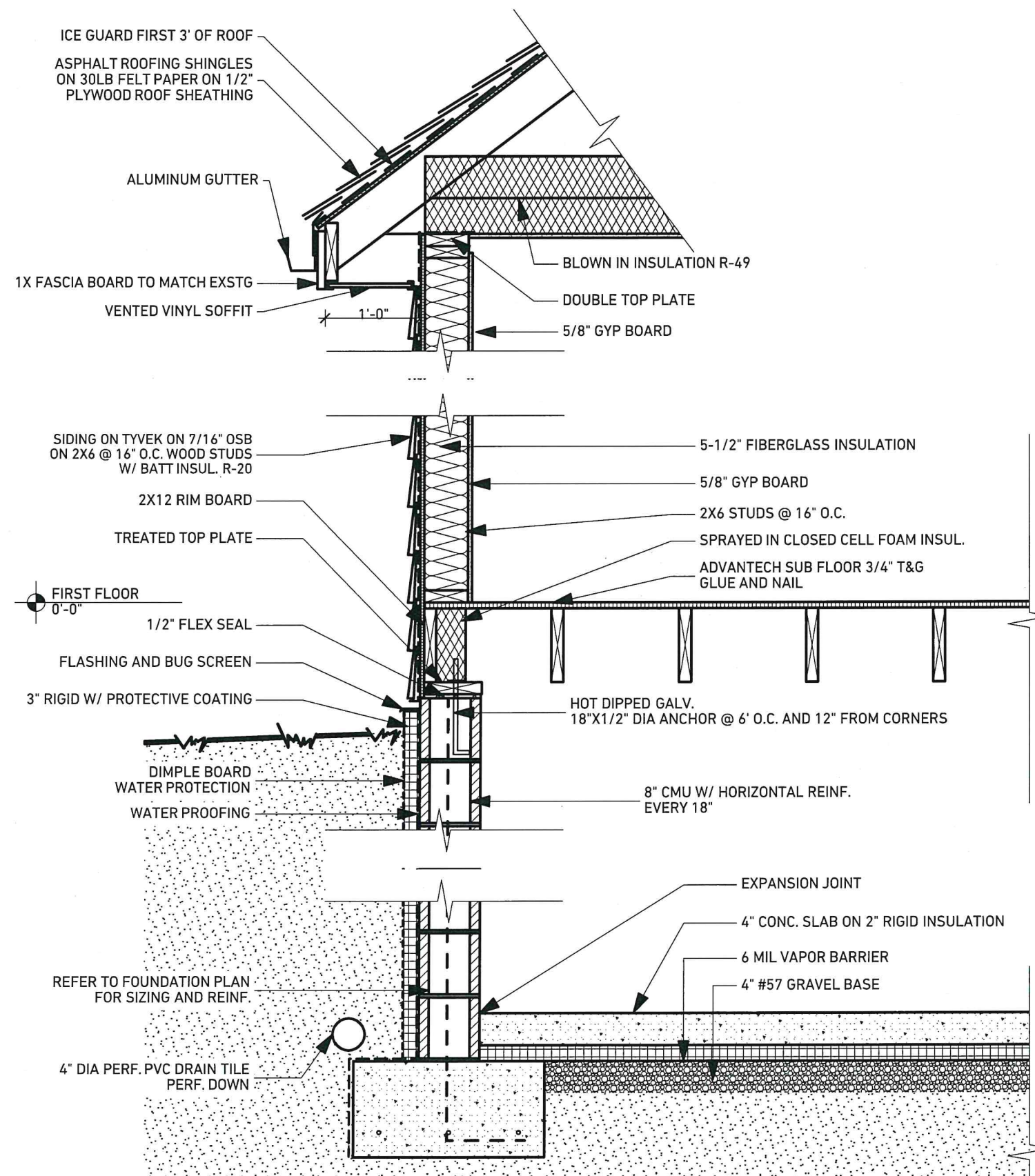
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HLAS RESIDENCE RENOVATION AND ADDITION
2285 FRASHURE DR

1/25/2025

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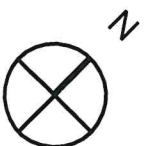
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2285 FRASHURE DR

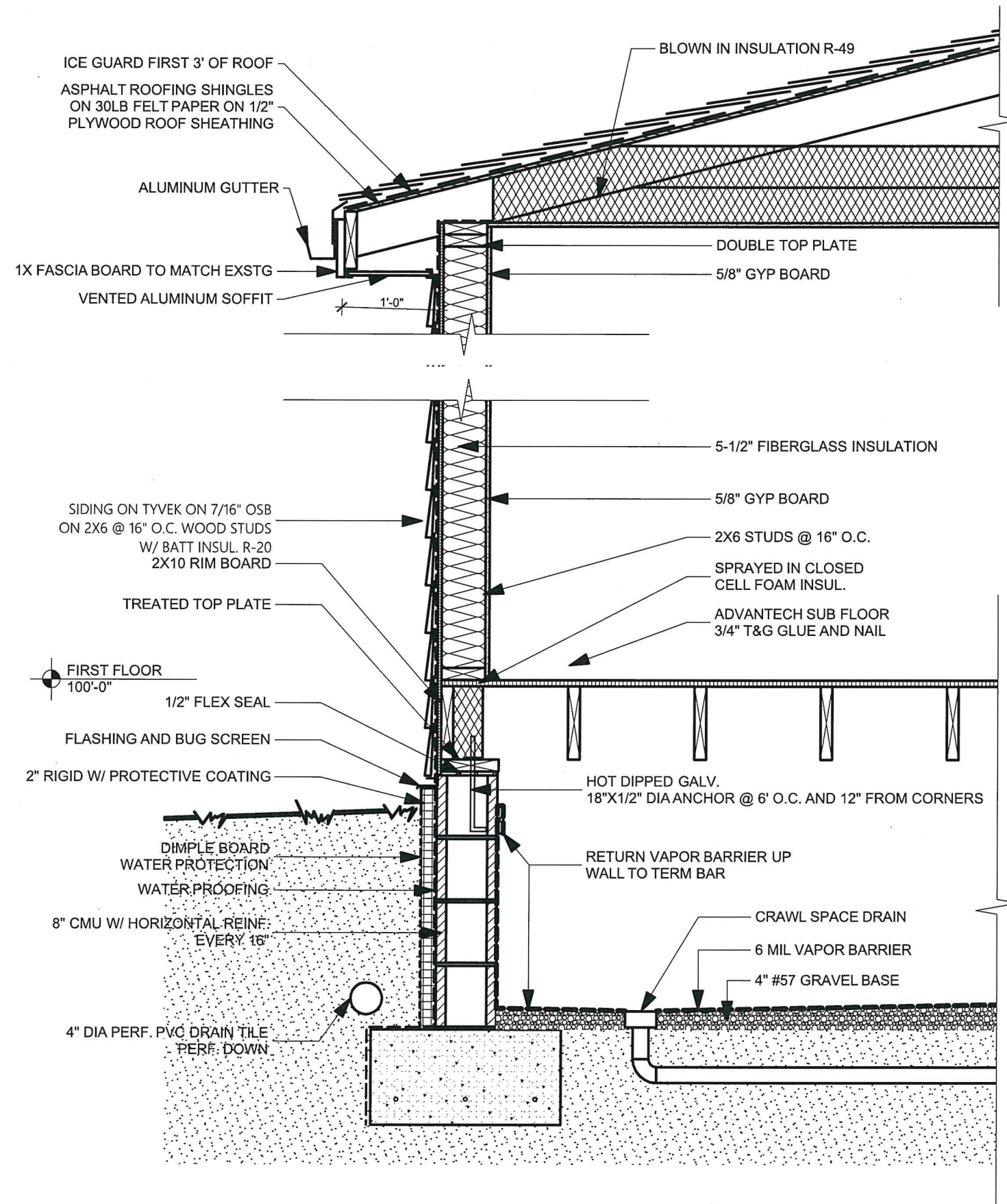
WALL SECTION 1

SCALE: 3/4" = 1'-0"

1/25/2025

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HLAS RESIDENCE RENOVATION AND ADDITION
2285 FRASHURE DR

WALL SECTION 2

SCALE: 3/4" = 1'-0"

1/25/2025

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Exhibit "A"

Situated in the City of Norton, County of Summit and State of Ohio:
and known as being all of Sublot No. 89 in Frashure park Estates No. 1 as recorded
in Plat Book No. 106, Pages 28 thru 31 of the Summit County Record of Plats and a
part of Lot 8 formerly Norton Township and being more fully described as follows:
Beginning at an iron pin found at the Northwest corner of Sublot No. 90 in the
Frashure Park Estates No. 1 this being the true place of beginning; thence N-30° -
06'-00"-E a distance of 145.00 feet to a solid No. 5 bar set with cap No. 6183 on
the Southerly line of Inas Drive extended westerly; thence along the southerly
line of Inas Drive S-51°-54'-00"-E a distance of 120.00 feet to an iron pin found
at the Point of Curve of the Right-of-Way return; thence along said return having a
delta angle of 90°-00'-00", a radius of 30.00 feet, a tangent of 30.00 feet, a
chord distance of 42.43 feet, a chord bearing of S-06°-54'-00"-E an arc distance
of 47.12 feet to the Point of Tangent of said curve; thence along the Westerly
Right-of-Way of Frashure Drive S-38°-06'-00"-W a distance of 115.00 feet to an
iron pin found at the Southeast corner of Sublot No. 89; thence along the Northerly
line of Sublot No. 90 N-51°-54'-00"-W a distance of 150.00 feet to the true place
of beginning, and containing 0.4949 acres of land, be the same more or less, but
subject to all legal highways, easements and reservations of record as surveyed
by John Michael Johanyak, Registered Professional Surveyor No. 6183 in January
of 1988.

PM 46-01948 & 46-07329

PPN NO-00047-02-009 & NO-00047-02-010

JH BH



City of Norton, OH

\$350 .00 Paid

Via Cash

Note: Paid with CHECK 2565 R18523

Joe & Brenda Hlas
December 17, 2025

Board of Zoning & Appeals Fees	\$350.00
A-2 - *Board of Zoning & Appeals	
Site Plan Review Fee	\$350.00

No processing fees

Total paid \$350.00



Powered by OpenGov
Receipt number #185



City of Norton Board of Building and Zoning Appeals

4060 Columbia Woods Drive
Norton Ohio 44203-5708
Phone (330) 825-7815 Ext. #335

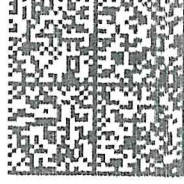
Notice is hereby given that City of Norton Board of Building and Zoning Appeals will hold a meeting in the Council Chambers of the Norton Safety & Administration Building, located at 4060 Columbia Woods Drive, Norton, Ohio, on **Wednesday, January 21, 2025, at 6:00 p.m.** The meeting will include the variance application from Joseph Hlas for a rear yard setback which differs from that in the City of Norton Codified Ordinances.

Any person may appear in person, or by agent, or attorney to speak for or against this application. The application and other reports are on file in the office of the Department of Zoning for inspection during business hours prior to the meeting.


Samantha Owen, Office Manager
Zoning Department



CITY OF NORTON
4060 COLUMBIA WOODS DR.
NORTON, OH 44203



01/09/2026
0368 0011823224
First-Class - IMI
ZIP 44203

Kevin Preston
2331 Inas Drive
Norton, OH 44203



CITY OF NORTON
4060 COLUMBIA WOODS DR.
NORTON, OH 44203



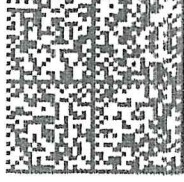
01/09/2026
0368 0011823224
First-Class - IMI
ZIP 44203


Phillip Stephens
2341 Shelva Lane
Norton, OH 44203



CITY OF NORTON
4060 COLUMBIA WOODS DR.
NORTON, OH 44203

William Roller
2295 Frashure Drive
Norton, OH 44203

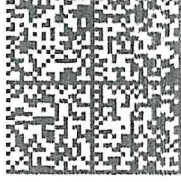



FP  US POSTAGE
\$000.74⁰
First-Class - IMI
01/09/2026 ZIP 44203
0366 0011823224



CITY OF NORTON
4060 COLUMBIA WOODS DR.
NORTON, OH 44203

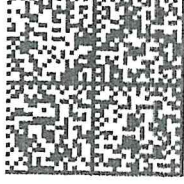
Craig Potter
2330 Inas Drive
Norton, OH 44203




FP  US POSTAGE
\$000.74⁰
First-Class - IMI
01/09/2026 ZIP 44203
0366 0011823224



CITY OF NORTON
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NORTON, OH 44203

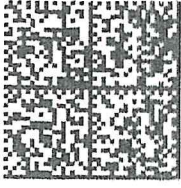



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01/09/2026 ZIP 44203
036B 0011823224

Debra Bolar Henderson
2347 Inas Drive
Norton, OH 44203



CITY OF NORTON
4060 COLUMBIA WOODS DR.
NORTON, OH 44203



FP  **US POSTAGE**
\$000.74⁰
First-Class - IMI
01/09/2026 ZIP 44203
036B 0011823224

Joseph Hlas
2285 Frashure Drive
Norton, OH 44203



Mayor Mike Zita

CITY OF NORTON

4060 Columbia Woods Drive
Norton, Ohio 44203

Offices: 330-825-7815 Fax: 330-825-3104
Website: www.cityofnorton.org

BZA MINUTES

Tuesday, December 16, 2025

Roll Call:

James Pekarek, Chair
Matthew Swyrydenko, Vice Chair
Joshua Smith
Andrew Mullins
Chris Williams

Also Present:

Lisa Snyder, Secretary
Samantha Owen, Secretary
Bill Braman

Meeting called to order at 6:00PM, November 18th, 2025.

I. New Business

1. BZA A1
Keenan Hahn – Hahn Homes
2878 Willow Way Lot 13, PPN, 46-09681
1266.04(4) Rear Yard Setback

Bill Braman presented application details. The rear setback involves a porch with a covered roof over it so it's actually considered still part of the house, but it's not actually the home. It would be the porch and patio. The rear setback is 50 feet with the porch and/or patio the setback then is going to be a little over 48 feet.

Kenan Hahn of 4482 Swan Lake Drive explained a client would like to build a home and they like one of our plans, but they would like to extend the covered back patio. I think they're extending it by two feet total or four total, putting that about a foot and a half over that setback. So instead of a 50-foot setback, we're at 48 to 48 and a half properties. >> Does anybody board have any questions? Mr. Mullins asked "What's the actual size of the patio going to be?" to which Mr. Hahn provided the dimensions of 15 ft by 13 ft. Mr. Mullins asked if the variance was not granted, what would actually be the size? Mr. Hahn stated the patio would end up being 15 ft by 11 ft. It was stated that the concrete patio is completely covered and raised. From inside the home, you'd step down about eight inches.

Mr. Smith asked Mr. Braman if there is a purpose for the 50 ft rear yard setback or is that just a number? Mr. Braman said, "It's just what the codified ordinance for that district says for the rear setbacks."

Mr. Swrydenko made a motion to approve the covered back patio as asked for to be 15 ft by 13 ft. Mr. Mullins seconded. The motion passed 5-0.

Mr. Braman said, “I would just like to say on the record, I appreciate your (Mr. Hahn’s) honesty in coming for this type of variance. It could have been very easily just done under the nobody really paying any mind to that. And I think your neighbors behind you, around you will appreciate your honesty and I know that the city does. So shows good intent and we respect that.”.

II. Old Business

None.

CONSIDERATION OF MINUTES:

Mr. Mullins motioned to accept the minutes as written from September 16th. Mr. Smith made a second. All members voted in favor of approving the minutes as written and the motion passed 5-0.

Respectfully submitted,

Approved:

Samantha Owen, Secretary

James Pekarek, Chair

Date

Note: These minutes are not verbatim. A full recording is available on the city website.



Mayor Mike Zita

CITY OF NORTON

4060 Columbia Woods Drive
Norton, Ohio 44203

Offices: 330-825-7815 Fax: 330-825-3104
Website: www.cityofnorton.org

BZA MINUTES

Monday, January 5, 2026

Roll Call:

James Pekarek, Chair
Matthew Swrydenko, Vice Chair
Joshua Smith
Andrew Mullins
Chris Williams

Also Present:

Samantha Owen, Secretary

Meeting called to order at 5:45 PM by Secretary, Ms. Owen

I. New Business

Appointment of Chairman and Vice Chairman

Mr. Pekarek nominated Mr. Swrydenko for chairman. Mr. Mullins seconded the motion. The motion passed 5-0. Mr. Smith nominate Mr. Williams for vice chairman to which Mr. Mullins seconded. Motion passed 5-0.

Mr. Pekarek made a motion for the Board of Zoning Appeals meetings to be on the third Tuesday of every month at 6:00 p.m. Mr. Swrydenko seconded. Motion passed 5-0.

The meeting was adjourned.

After adjournment, Mayor Zita conducted oaths. Mr. Pekarek and Mr. Mullins were sworn in; each of them was given a copy of their oaths for their records.

Respectfully submitted,

Approved:

Samantha Owen, Secretary

James Pekarek, Chair

Date

Note: These minutes are not verbatim. A full recording is available on the city website.